

ORDINANCE NO. 2329

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF
WEST COVINA, CALIFORNIA, APPROVING ZONE CHANGE
NO. 17-01, RELATED TO THE UPDATING OF TWO PARCELS
WITHIN THE CITY**

WHEREAS, on the 12th day of September, 2017, the Planning Commission initiated a code amendment to consider changing the zoning of two parcels within the City; and

WHEREAS, the Planning Commission, upon giving required notice, did on the 10th day of October, 2017, conduct a duly advertised public hearing as prescribed by law, at which time the Planning Commission adopted Resolution No. 17-5921 recommending to the City Council approval of Zone Change No. 17-01; and

WHEREAS, the City Council considered evidence presented by the Planning Commission, Planning Department, and other interested parties at a duly advertised public hearing on the 7th day of November, 2017; and

WHEREAS, studies and investigations made by this Council and on its behalf reveal the following facts:

1. Parcel 8468-016-901 is zoned Office-Professional, but was excluded from the Downtown Plan and Code update which changed the adjacent commercial and office properties to the General Urban zoning designation in the Downtown Plan.
2. Parcel 8486-008-002 was purchased by the City in November of 2016 as part of the effort to expand the City's parkland. The proposal would be to change the zoning designation from Single-Family Residential (R-1) to Open-Space (O-S) to match the existing park (Cameron Park).
3. The proposed action is considered to be exempt from the provisions of the California Environmental Quality Act (CEQA), pursuant to Section 15061(b)(3) of the CEQA Guidelines, in that the proposed action consists of a zone change, which does not have the potential for causing a significant effect on the environment.

NOW, THEREFORE, by the City Council of the City of West Covina does ordain as follows:

SECTION NO. 1: The above recitals are true and correct and are incorporated herein as if set forth herein in full.

SECTION NO. 2: Based on the evidence presented and the findings set forth, Code Amendment No. 14-04 is hereby found to be consistent with the West Covina General Plan and the implementation thereof and that the public necessity, convenience, general welfare, and good zoning practices require Zone Change No. 17-01.

SECTION NO. 3: Based on the evidence presented and the findings set forth, the City Council of the City of West Covina approves Zone Change No. 17-01 to assign the land use designations as shown on Exhibit "A" attached hereto and incorporated herein by this reference.

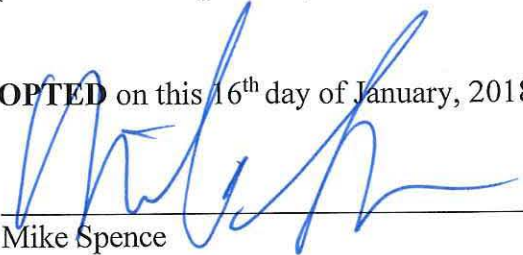
SECTION NO. 4: The City Council finds that adoption of this Ordinance is exempt from CEQA because it can be seen with certainty that there is no possibility that Zone Change No. 17-01 will have a significant effect on the environment (CEQA Guidelines section 15061(b)(3)).

SECTION NO. 5: Any provision of the West Covina Municipal Code or appendices thereto inconsistent with the provisions of this Ordinance, to the extent of such inconsistencies and no further, is hereby repealed or modified to that extent necessary to effect the provisions of this Ordinance.

SECTION NO. 6: Should any provision of this Ordinance, or its application to any person or circumstance, be determined by a court of competent jurisdiction to be unlawful, unenforceable or otherwise void, that determination shall have no effect on any other provision of this Ordinance or the application of this Ordinance to any other person or circumstance and, to that end, the provisions hereof are severable. The City Council of the City of West Covina declares that it would have adopted all the provisions of this Ordinance that remain valid if any provisions of this Ordinance are declared invalid.

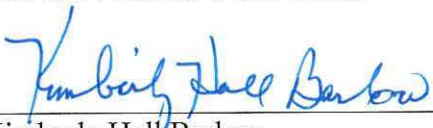
SECTION NO. 7: The City Clerk shall certify to the passage and adoption of this Ordinance, causing it to be posted or published as required by law and it shall be effective thirty (30) days after its adoption.

PASSED, APPROVED AND ADOPTED on this 16th day of January, 2018.




Mike Spence
Mayor

APPROVED AS TO FORM:

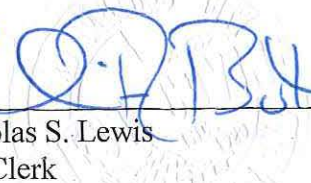


Kimberly Hall Barlow
City Attorney

ATTEST:



Nickolas S. Lewis
City Clerk



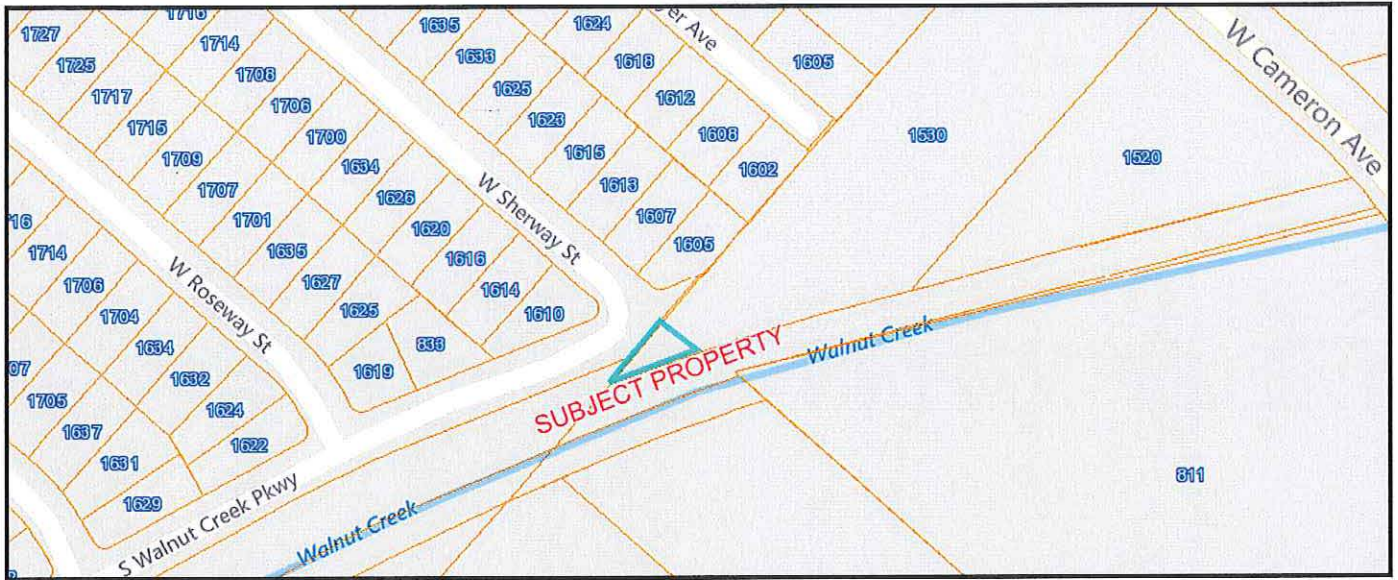
I, NICKOLAS S. LEWIS, CITY CLERK of the City of West Covina, California, do hereby certify that the foregoing Ordinance was regularly introduced and placed upon its first reading at a regular meeting of the City Council on the 7th day of November, 2017. That thereafter said Ordinance was duly adopted and passed at a regular meeting of the City Council on the 16th day of January, 2018, by the following vote:

AYES: Johnson, Spence, Toma, Wu, Warshaw
NOES: None
ABSENT: None
ABSTAIN: None



Nickolas S. Lewis
City Clerk

EXHIBIT A
ZONE CHANGE PARCELS



SITE NO. 1

APN: 8468-016-901

Southwest of 1530 W. Cameron Avenue

Proposed Zoning: General Urban (G-U)



SITE NO. 6

APN: 8486-008-002 (707 S. Lark Ellen Ave.)

North of Cameron Park

Proposed Zoning: Open Space (O-S)