



Public Works Department
BUILDING DIVISION
1444 West Garvey Avenue
West Covina, CA 91790
626-939-8425

PLANS SUBMITTAL REQUIREMENTS FOR SINGLE FAMILY DWELLING

Submittal: Two (2) sets of plans are required to be submitted for plan check. Plans shall be drawn with sufficient clarity and detail to show conformance with current California Building Code and West Covina Municipal Code.

Planning Department (City Hall Room 208, Phone 626-939-8422): Planning Department Approval is required prior to submitting plans to the Building Division. The minimum requirement is a site plan, a floor plan, and elevations.

Plan Requirements: The plans submittal package shall include the plans noted below. Plans shall be drawn to scale and be provided with applicable written notes, dimensions, illustrations, and details to clearly convey the scope of work. Minimum size paper on which the plans are drawn shall be 11x17.

SITE or PLOT PLAN: Preferred Scale (1/8" per foot)

- Show address, property lines, lot dimensions, side yards, and existing buildings/structures, street name, easements (if applicable), and north arrow.
- Graphically locate and identify the proposed buildings/structures. Provide written dimensions to identify the size of the building.
- Dimension distances of front, rear and side yard setbacks and distances between adjacent buildings (existing and proposed).
- Locate utility meters (electrical, gas, and water), fences, walls, pool/spa, and retaining walls. Identify each element as existing or new.
- Provide a written description of the scope of work. Provide floor areas tabulation. Specify lot area, existing floor areas (home, garage, patio/porches, etc.), proposed floor area(s) of new building(s)/addition(s), and lot coverage calculation.

FLOOR PLAN: Preferred Scale (1/4" per foot)

- Provide a floor plan for each floor of the building.
- Show and label all rooms (bedroom, kitchen, closet, etc.) on each floor of the building. Provide interior dimensions of all rooms. Show attached structures such as patio covers or porches.
- Provide a wall schedule identifying existing walls, new walls, and walls to be removed.
- Locate all windows and doors. Specify their sizes and opening types. (4'x4' Sliding window, 3'x4'6" hung, 6'x6'8" French doors, etc.)
- Show mechanical and plumbing fixtures (toilets, sinks, water heaters, furnace, etc.)

ELEVATIONS: Preferred Scale (1/4" per foot)

- Show elevation views on all north, south, east and west directions facing the building. For additions, clearly define existing and proposed portions of the building.
- Specify the wall finish (stucco, siding, stone, etc.), roofing material (shingles, tiles, etc.), and pitch of roof.
- Specify height to the highest point of the roof structure.
- Locate all windows and doors as they are appeared on the floor plan.

BUILDING SECTIONS: Preferred Scale (1/4" per foot)

- Show exterior and interior walls, ceiling, roof and foundation. Identify ceiling heights, wall plate heights, and pitch/slope of roof.

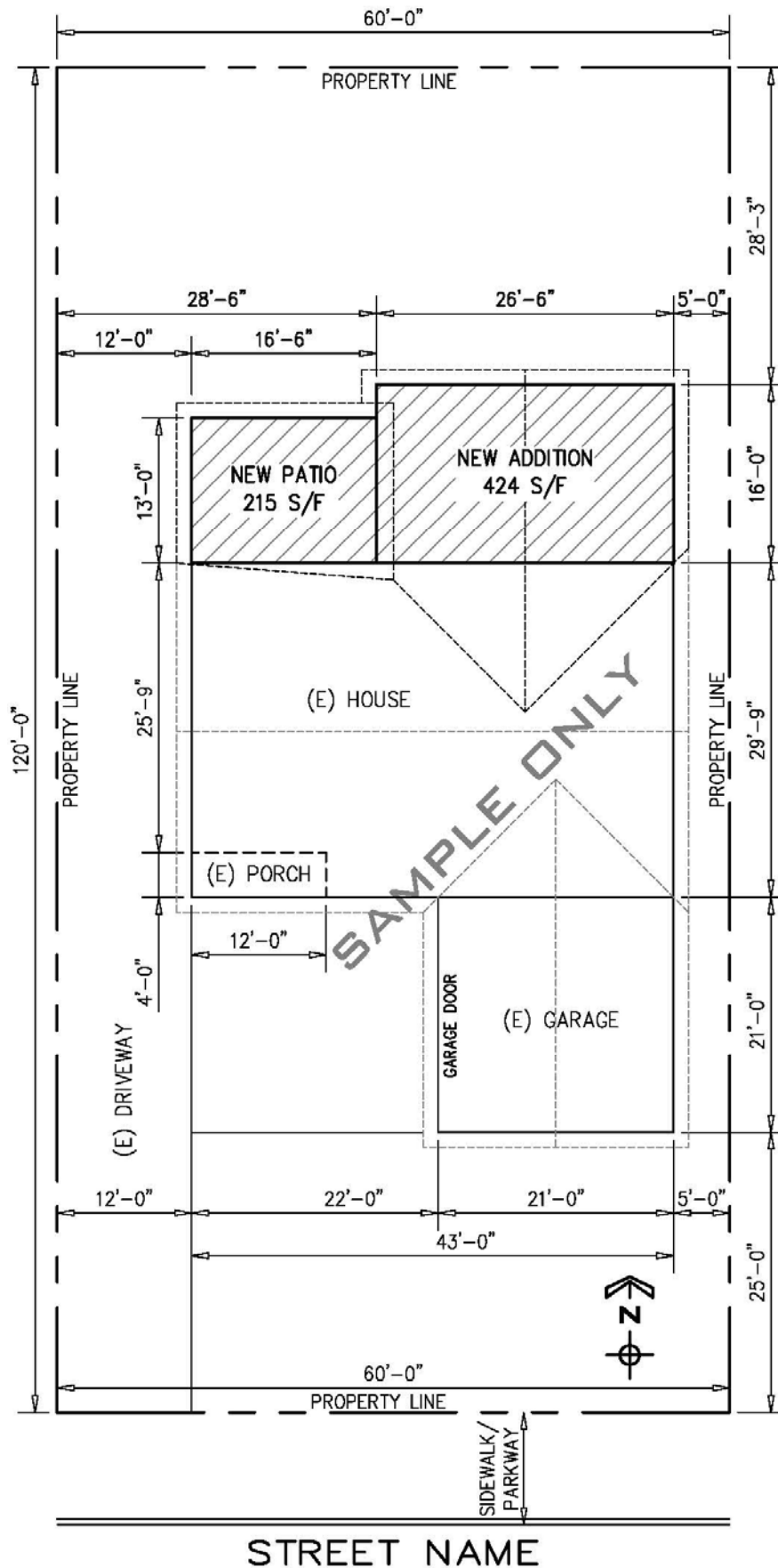
STRUCTURAL PLANS: Preferred Scale (1/4" per foot)

- **Foundation Plan:** Show existing and proposed foundation. Continuous foundation is required for under exterior walls and seismic braced walls. Specify the size of the footings (width x depth of embedment). Locate additional pad footings/piers as required. The foundation plan must clearly define the foundation system as a raised floor or slab on grade. Specify slab thickness and reinforcing steel or floor framing sizes (2x6@16" floor joists, 4x6 girders, and supporting piers).
- **Framing Plan:** Show framing members (rafters, ridge, ceiling joists, posts, and header beams) on the plans. Provide the size and, if applicable, spacing of the framing members. Identify locations of shear or braced walls and their required lengths. Specify shear/braced walls sheathing material (plywood, stucco, etc.), required nailing, spacing of framing anchors, and bolting of anchors to the foundation.
- **Structural Details:** Provide structural details to show construction of the foundation system, connections of framing members between foundation to floor/walls, roof to shear/braced walls, rafters attachment to ridge, posts connection to footing, etc. Additional information may be requested at plans review.
- **STRUCTURAL ENGINEERING:** The structural plans may be required to be prepared by a State Licensed Professional (Architect or Engineer) if the proposed structural system is beyond the scope of the California Residential Code or if the proposal consists of two stories structures, heavily loaded roofs (concrete or clay tiles), or contains structural irregularities. Structural design shall conform to the current provisions of the California Building Code and ASCE-7.

CALIFORNIA ENERGY COMPLIANCE:

- **Certificate of Compliance.** The California Energy Standards require that new construction and alteration of existing buildings be furnished with energy efficient features such as insulation, efficient lighting, thermal insulated glazing in windows and doors, and efficient HVAC systems. These features are summarized on forms CF-IR, CF-1R-ADD, or CF-1R-ALT, depending on the size of the building or addition. Prescriptive compliance forms can be found at <http://www.energy.ca.gov/title24/>. Performance compliance may be achieved through computer modeling of the proposed project. The services of an energy consultant will be necessary to provide performance compliance. The completed and signed forms, CF-IR, CF-1R-ADD, or CF-1R-ALT and RESIDENTIAL MANDATORY MEASURES, shall be printed as part of the plans and attached as part of the plans submittal package.

SAMPLE SITE PLAN: Not to Scale



PROJECT DATA

Address: 1234 Street Name,
West Covina, CA 9179_

Scope of Work: Addition of bedroom, bathroom, and closet at 424 S/F and covered patio at 215 S/F.

Lot Area: 7,200 Sq. Ft.

Existing:
 Dwelling: 1,231 Sq. Ft.
 Garage: 441 Sq. Ft.
 Porch: 48 Sq. Ft.

New:
 Addition: 424 Sq. Ft.
 Covered Patio: 215 Sq. Ft.

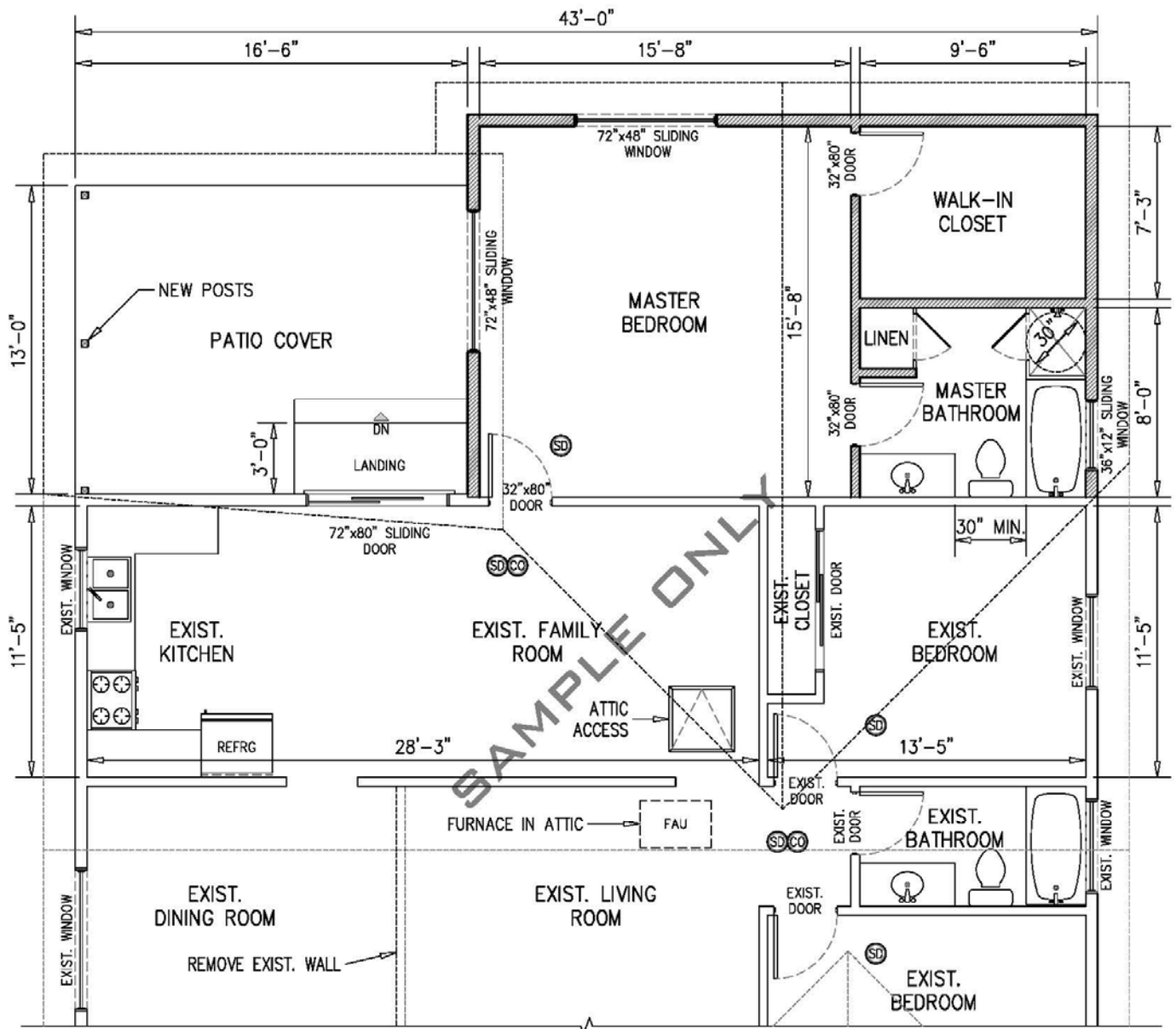
TOTAL:
 House: 1,655 Sq. Ft.
 Garage: 441 Sq. Ft.
 Porch & Patio: 263 Sq. Ft.

Height of Building: 15'-6"

Lot Coverage: (1655+441+263)
2,359 Sq. Ft.

Coverage Percent: $2359/7200 = 32.7\%$

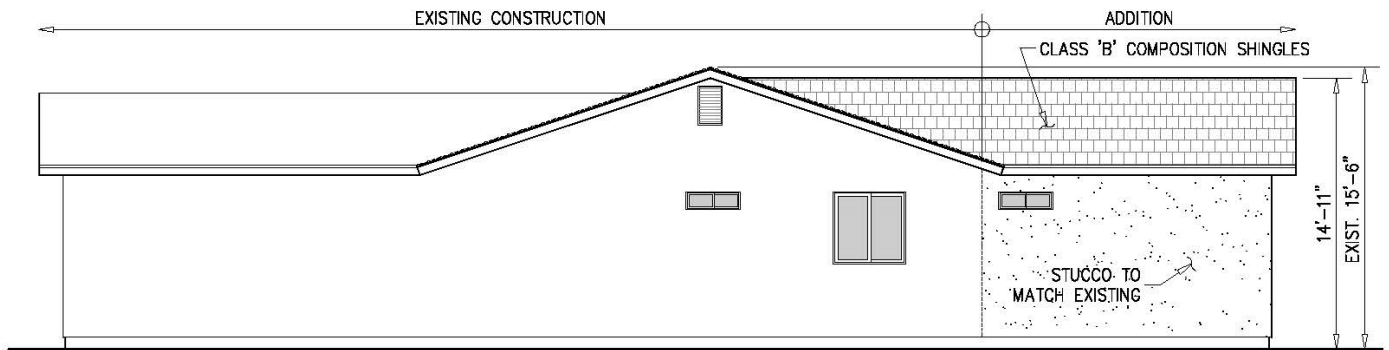
SAMPLE FLOOR PLAN: Not to Scale



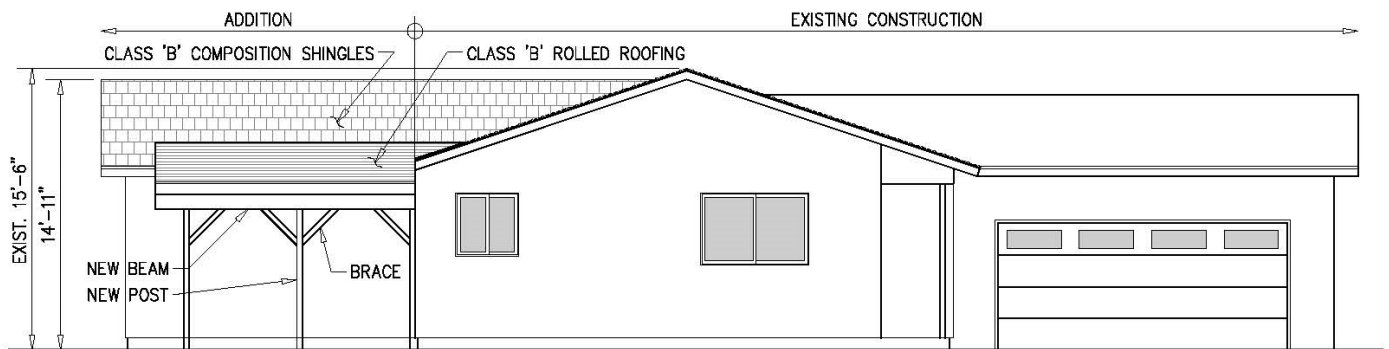
WALLS SCHEDULE	
	NEW WALLS
	(E) WALLS TO REMAIN
	(E) WALLS TO BE REMOVED

- SMOKE DETECTORS
- CARBON MONOXIDE DETECTORS

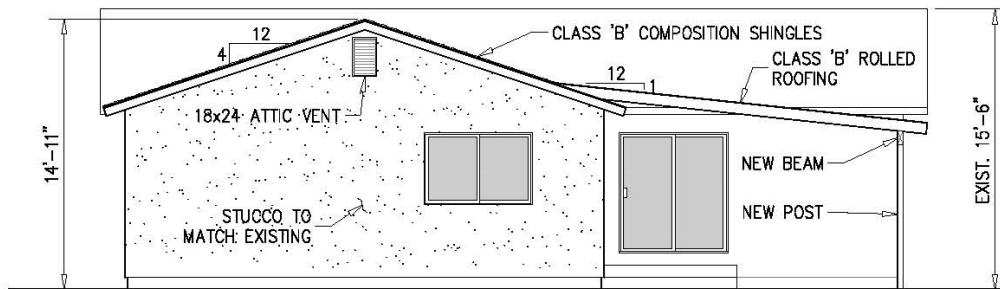
SAMPLE ELEVATIONS and BUILDING SECTION: Not to Scale



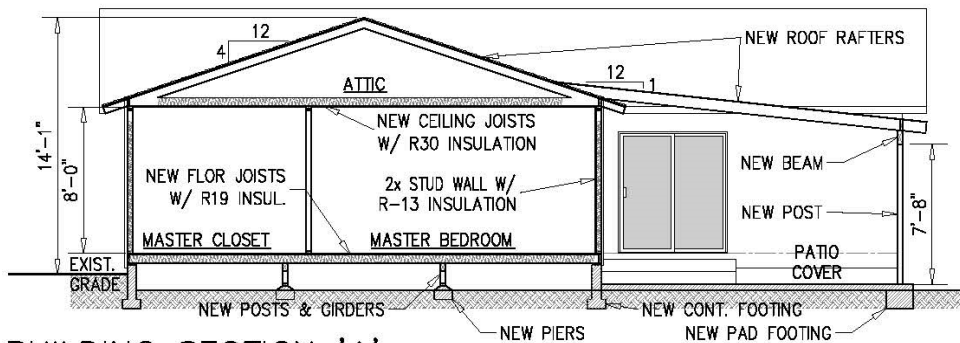
EAST ELEVATION



WEST ELEVATION

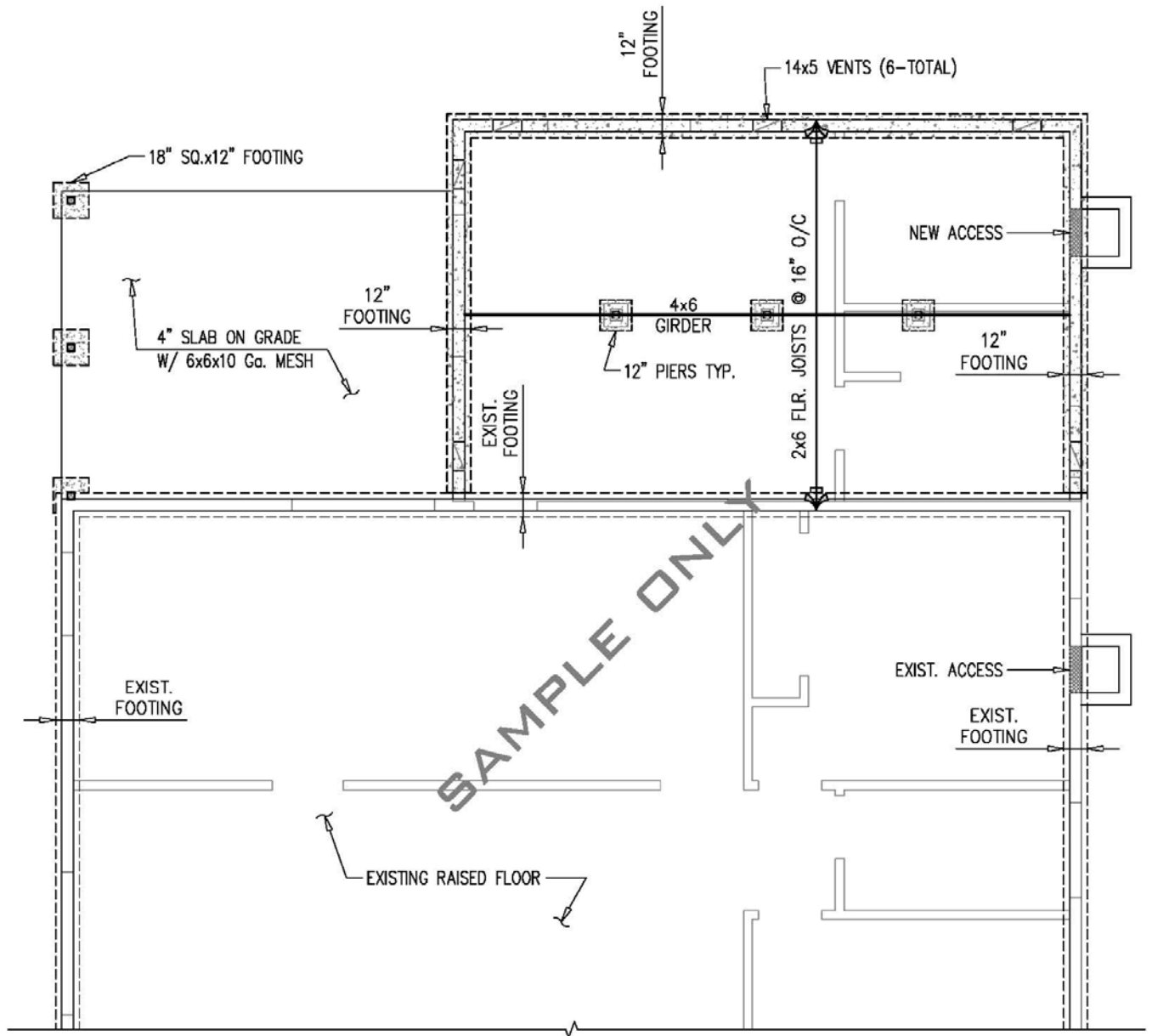


NORTH ELEVATION

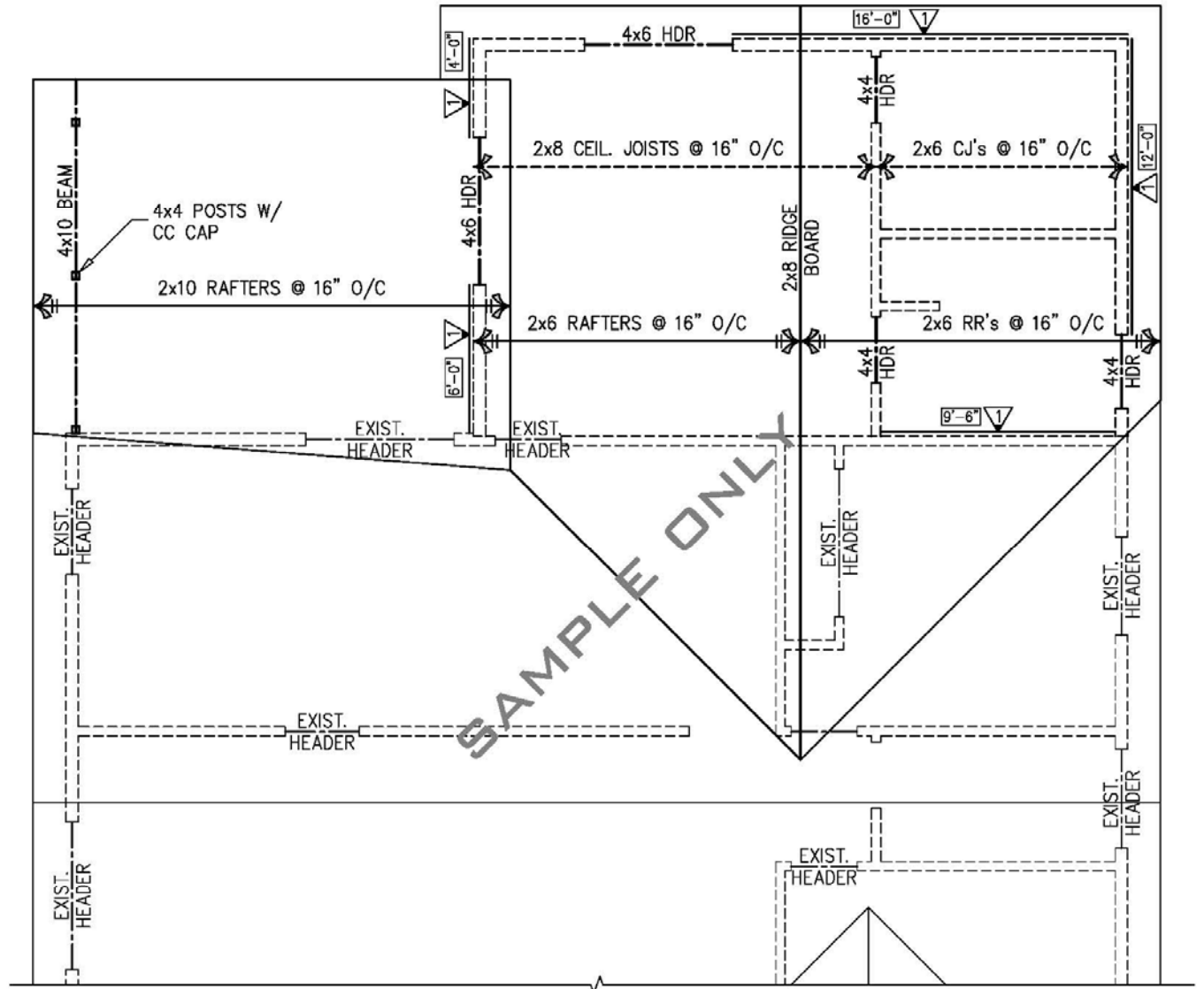


BUILDING SECTION 'A'

SAMPLE FOUNDATION PLAN: Not to Scale



SAMPLE FRAMING PLAN: Not to Scale



▲ 1 1/2" CDX PLYWOOD W/ 8d NAILS AT 6" EDGE AND 12" FIELD NAILING. A35 AT 24" O/C. 5/8"x10" ANCHOR BOLTS AT 72" O/C.