



**REQUIREMENTS FOR SINGLE FAMILY DWELLING
ADDITIONS**

Submittal: Two (2) sets of reproduction (copy or blue-print) plans are required to be submitted for plan check. Plans shall be drawn to scale with a straight edge and of sufficient clarity and detail to show conformance with all relevant laws and ordinances.

Planning Department (Room 208) : Approval is required for a room addition prior to submitting plans to the Building and Engineering Department. The minimum requirement is a plot plan, a floor plan, and elevations. Planning phone number: (626) 939-8422

Building and Engineering (Room 215): *In addition to the above, structural plans (and calculations for most second stories), details, and energy conservation requirements are required. A separate permit is required for building, plumbing, mechanical, and electrical. A formal fee quote is available upon request.*

Basic Plan Requirements - Refer to specific samples.

PLOT PLAN:

- a) A site plan showing all lot dimensions, north arrow, scale, streets, alleys and easements.
- b) The exact location, setbacks, and dimensions of all existing and proposed structures on the lot including patios, accessory buildings, and pools. Show distances between adjacent buildings and buildings and the property lines. Show the size and location of any trees affected by the proposed construction.
- c) The location and dimensions of all proposed new construction, with all proposed construction clearly identified.
- d) A summary showing a description of the proposed project, lot size, existing, proposed, demolished, and total area in square feet, the number of stories and the current building code. (2007CBC)
- e) The site address, the owner's name, and the name of the designer or other consultants.

A copy of the site plan is required to be submitted on an 8-1/2" by 11" or 14" size sheet of paper.

FLOOR PLAN

- a) The exact location and dimensions of all existing and proposed rooms. All rooms shall be clearly identified by use such as kitchen, bedroom, closet, etc.
- b) Show the size, type and location of all proposed windows, existing windows removed, and windows of rooms affected by or adjacent to the addition. Required window area must be between 8% and 20% of the floor area of the room and be 1/2 openable in most cases. Each sleeping room shall have one emergency egress opening directly to the outside. Ask for specific requirements.
- c) Show all other code-related requirements such as smoke detectors, door sizes, landings, stairs, rise and run, handrails, guardrails, safety glazing, and security requirements. Roof coverings shall be at least Class B fire rated. Show under-floor and attic access and ventilation. Show all wall, floor and ceiling insulation.

ELEVATIONS

Must be drawn to scale, showing building height, exterior materials, and the locations of doors, windows, exterior stairs, chimneys, fascia, eaves, cornices, wall facings, brickwork, and any other architectural features.

STRUCTURAL PLANS

- a) A foundation, floor framing (when required), and a roof framing plan is required to show all footings, anchor bolts, rebar, sills, rafters, joists, ridges, beams, headers, supports, and span and spacing of members.
- b) Clearly detail all conditions that do not conform to the standard framing shown on a "type five" sheet.
- c) Clearly show wall bracing such as plywood or stucco. Usually at least 4 feet every 25 feet is required.

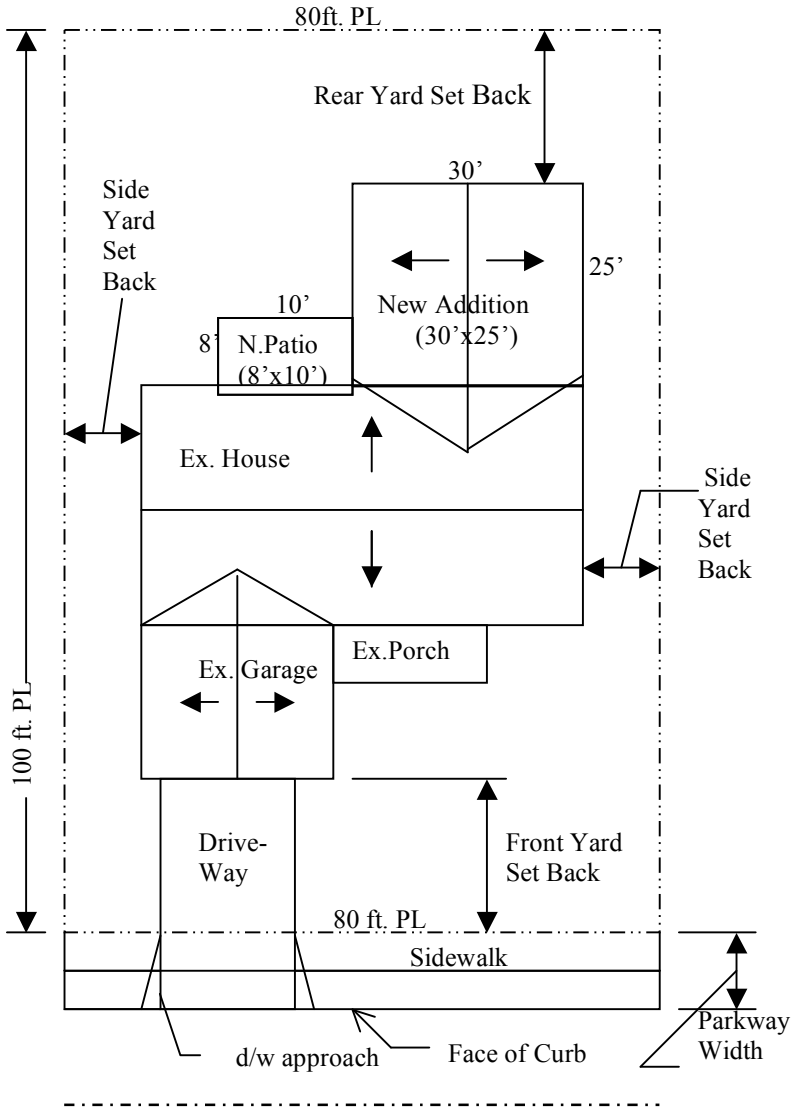
Engineering is Required for any structure not conforming to the conventional light, wood framing and bracing requirements of UBC Section 2308. Examples of some projects requiring engineering are: unusual or irregular shapes or sizes, second stories, vaulted ceilings, long span beams (over 16 feet), and structural steel. Structural plans and calculations are required to be prepared under the direction of a California State Professional Engineer or Architect and stamped and signed upon submittal. (rev.021308)



**SAMPLE PLOT PLAN
 FOR SINGLE FAMILY DWELLING ADDITIONS**

A plot plan is required for any single family addition or alteration involving a change to the site. A plot plan is required to be submitted on letter or legal size paper (8-1/2 x 11 or 8-1/2x14). Submit two (2) reproduction copies as part of your permit application. (rev.021308)

Use this example as a guide to draw your own plot plan. Show as much information as possible. Plans shall be drawn to scale, with a straight edge, and with enough clarity to show conformance with applicable regulations. Actual conditions and requirements may differ from this example.



Project Data (For example only)

Owner: Mr. & Mrs. Citizen
 Address: 1234 Street Name
 Designer: By owner
 Description: Addition of bedroom, bathroom, and patio
 Building Code Occupancy: R-3 (single family)
 Type of Construction: V-N
 Code: 2007 CBC

Existing Area (s.f.):	
Dwelling	1450
Garage	400
Porch	80
Exist. Subtotal	1930
New Area (s.f.):	
Dwelling	750
Patio	80
New Subtotal	830 s.f.
Grand Total (s.f.)	2760

Lot Size: 100' x 80' = 8000 s.f.
 Lot Coverage = 2760/8000 = 34.5 %
 Allowable Coverage = 35 %
 (ok) 34.5% < 35%

Street Name

Scale: 1'-0" = 20'-0"

⊗ Fire Hydrant

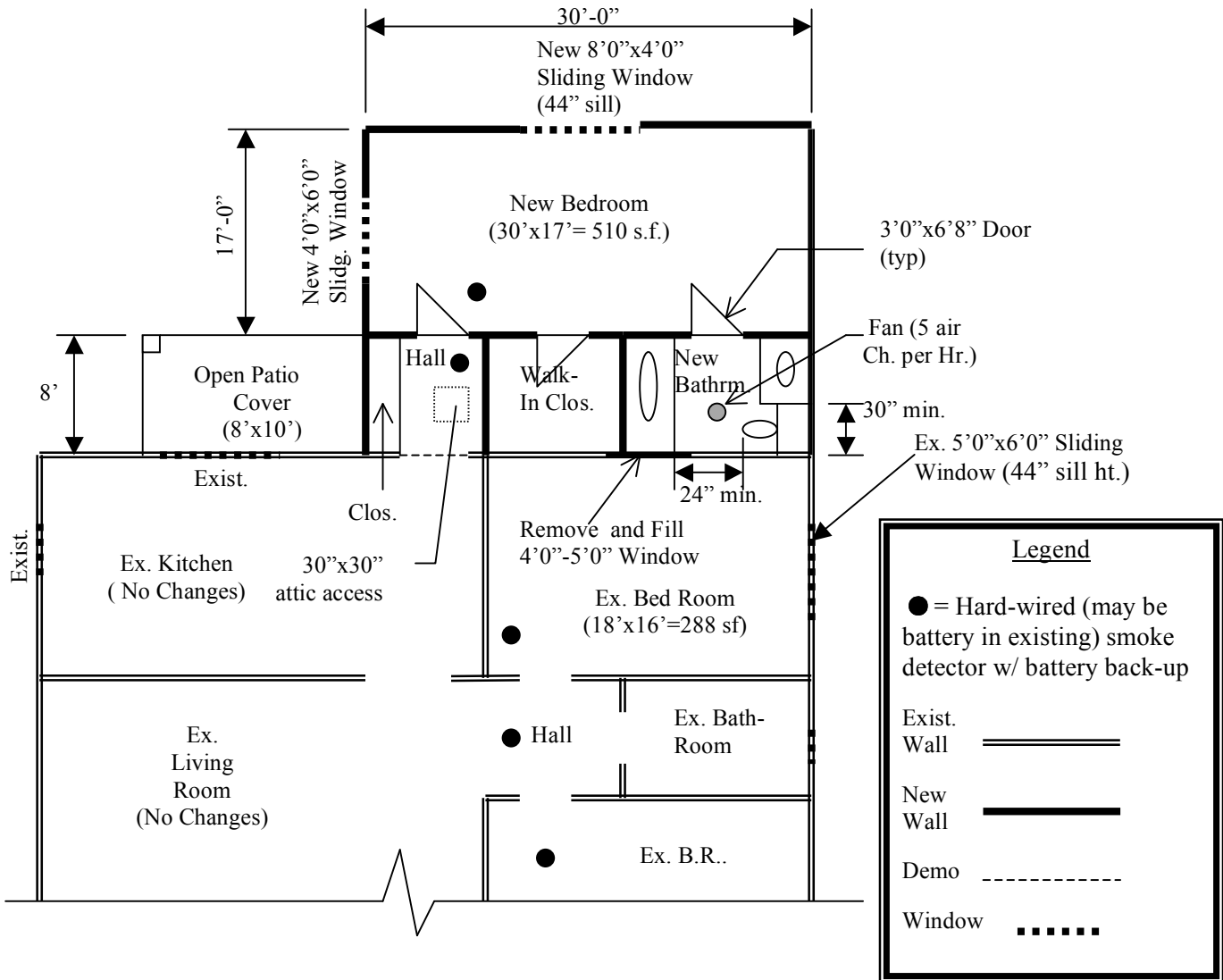
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Sample Floor Plan for Single Family Dwelling Additions

A floor plan is required as part of the submittal for the permit application for any single family addition or alteration. Submit two (2) reproduction copies of the complete set of plans as part of your permit application.

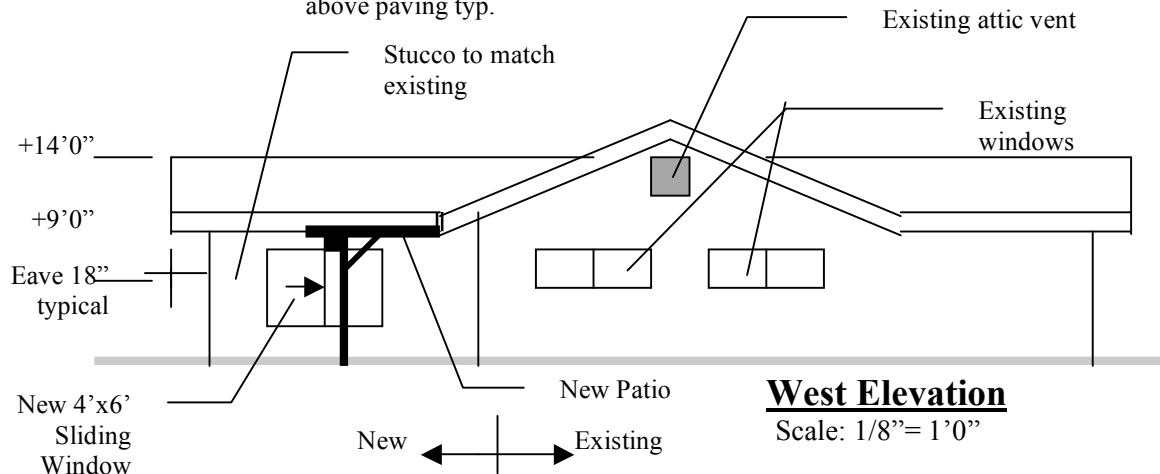
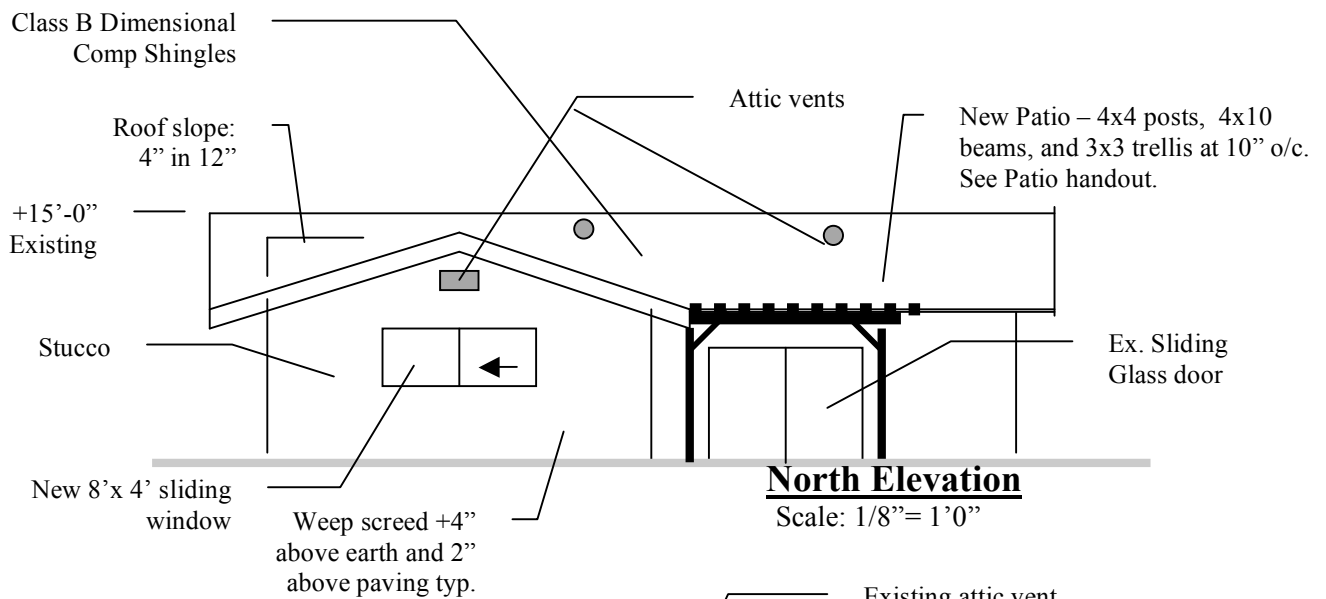
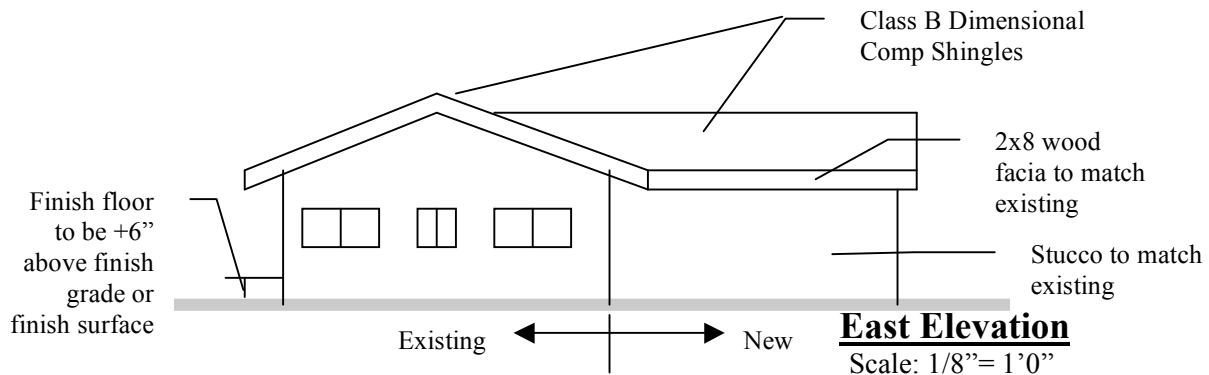
Use this example as a guide to draw your own floor plan. Clearly distinguish between all new, existing and removed walls, construction, and other features such as windows. Include all adjacent rooms and any other room affected by the new construction. Provide dimensions of all walls, room sizes, doors, and windows. Verify windows meet light (min. 8% of floor area), ventilation (min. 4% of floor area), and egress size requirements. Show as much information as possible. Plans shall be drawn to scale, with a straight edge, and with enough clarity to show conformance with applicable regulations. Actual conditions and requirements may differ from this example. (say/addnfloorplan/021308)





**SAMPLE ELEVATIONS
 FOR SINGLE FAMILY DWELLING ADDITION**

ELEVATIONS
Must be drawn to scale, showing building height, exterior materials, and the locations of doors, windows, exterior stairs, chimneys, facia, eaves, cornices, wall facings, brickwork, and any other architectural features. (rev. 021308)



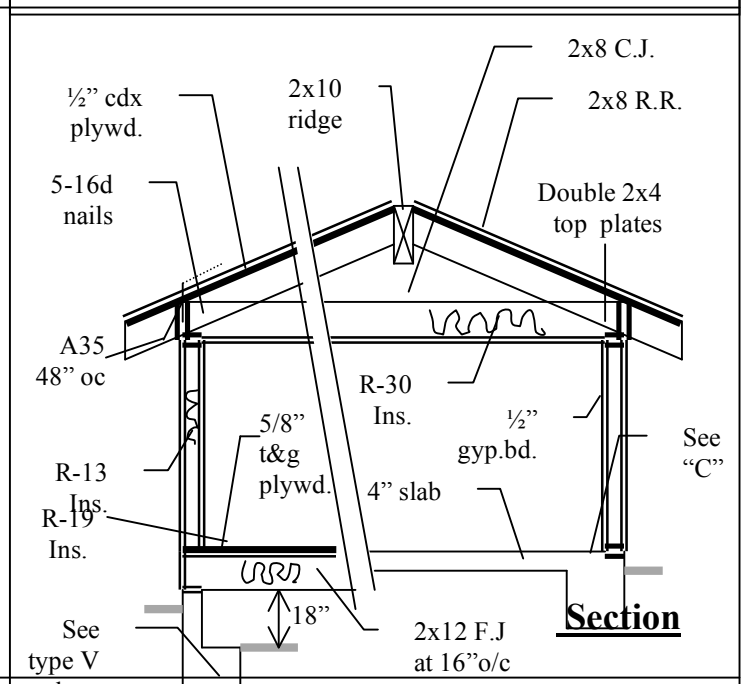
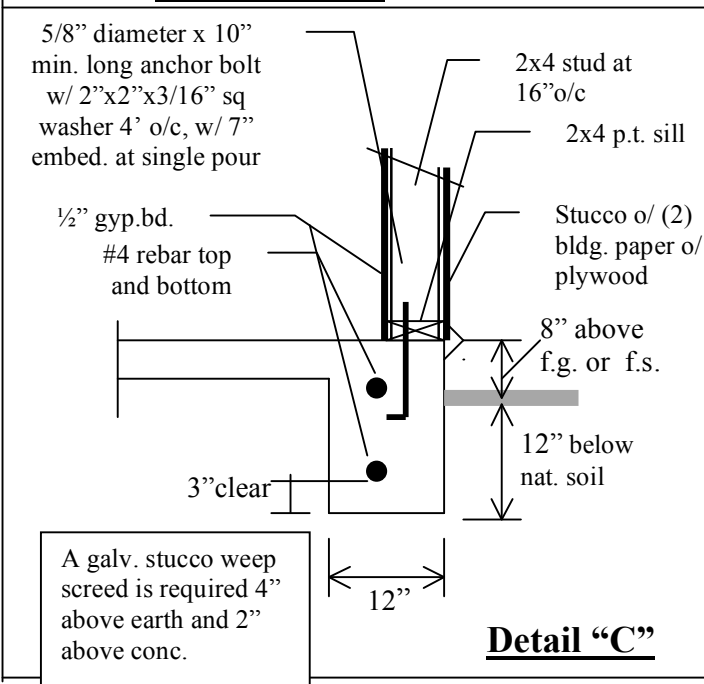
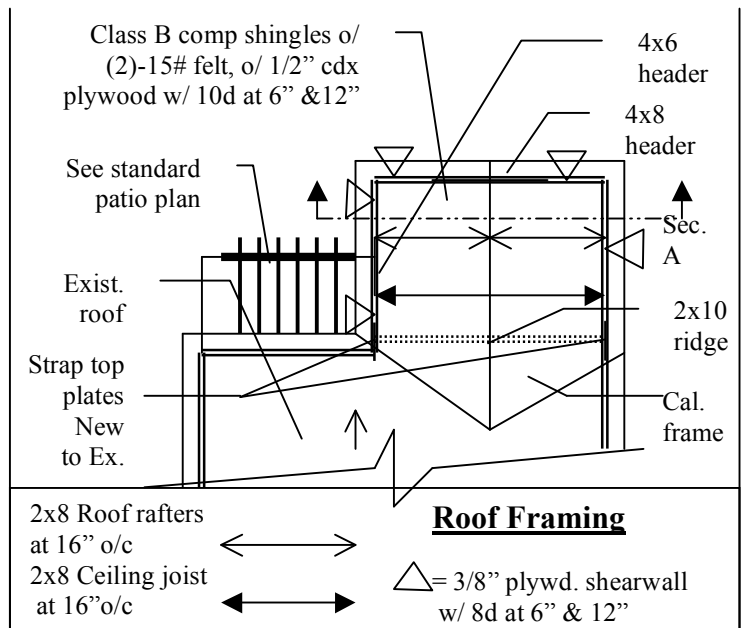
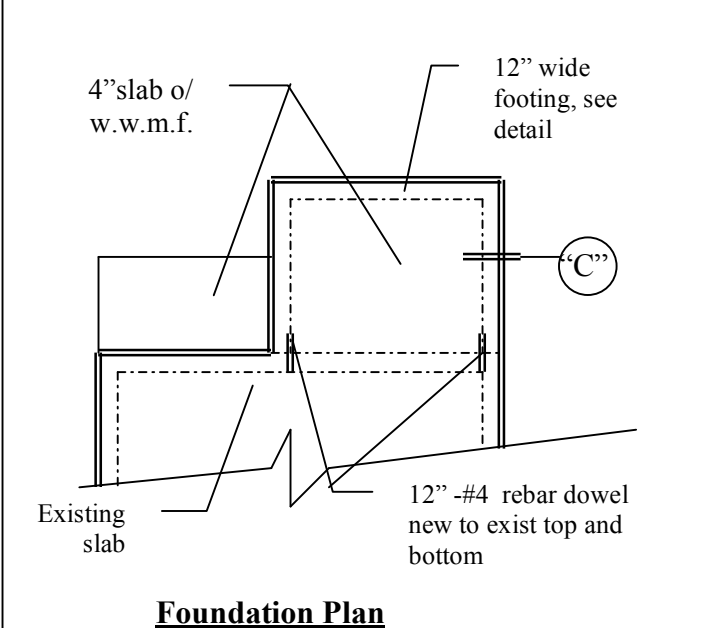


**SAMPLE STRUCTURAL PLANS
 FOR SINGLE FAMILY DWELLING ADDITIONS**

STRUCTURAL PLANS (Scale min. 1/4" = 1')

- a) A foundation, floor framing (when required), and a roof framing plan is required to show all footings, anchor bolts, rebar, sills, rafters, joists, ridges, beams, supports, and span and spacing of members. Framing sections may be required.
- b) Clearly detail all conditions that do not conform to the standards shown on the type V sheet.
- c) Clearly show wall bracing such as plywood or stucco. At least 4 feet every 25 feet is required.

Engineering is Required for any structure not conforming to the conventional light, wood framing and bracing requirements of CBC Section 2308. Examples of some projects requiring engineering are: unusual or irregular shapes or sizes, second stories, vaulted ceilings, long span beams (over 16 feet), and structural steel. Structural plans and calculations are required to be prepared under the direction of a California State Professional Engineer or Architect and stamped and signed upon submittal. (addn.framing/021308)



GENERAL BUILDING NOTES

EFFECTIVE CODE: 2007 CBC

1. Provide smoke detectors as required by CBC 907.2.10. Locate in each sleeping room and at a point centrally located in each hall or area giving access to each sleeping area. A minimum of one smoke detector is required on each story. Smoke detector must be hard-wired in new construction w/battery back up and audible in all sleeping areas. May be solely battery operated in existing construction.
2. All bedrooms, dens, libraries, or similar rooms, which can be readily used as a sleeping room, must have an exterior window for emergency egress per CBC 1026.2. This window must have an open-able area of 5.7 square feet with a minimum 20" width and a minimum 24" height. Note that height of this window is 44" above the floor.
3. Any glass within 60" of tub or shower floor must be tempered per CBC 2406.3 (5).
4. Any individual panes of glass over 9 square feet and within 18" of floor shall be tempered per 2406.3 (7).
5. Any glass in doors or in sidelight(s) within 24" of either door edge per CBC 2406.3 (6) or within 40" of any locking mechanism (per West Covina Security Ordinance) shall be fully tempered.
6. All electrical is to be installed per 2007 CEC.
7. Light fixture over tub or shower to be approved for wet use per CEC 410-4(a).
8. Ultra low flush (1.6-gallon max.) toilets and urinals are required.
9. Minimum 30" wide compartment and minimum 24" clearance in front for the water closet are required.
10. Size of shower stall to comply with CPC 411.7, 1024 sq. in. minimum interior and encompassing a 30" circle.
11. Comply with West Covina Security Ordinance.
12. Anchored bolts shall be minimum of 5/8" diameter, 10" long @ 6' O.C. starting 12" from corners with 7" embedment in concrete with square washer 2" x 2" x 3/16".
13. Ceiling insulation shall be minimum R-30.
14. Wall insulation shall be minimum R-13.
15. Raised floor insulation shall be minimum R-19.
16. Windows shall have U-Value of .75 (Dual Pane Aluminum Frame windows are deemed to meet this U-Value).
17. Any east or west facing windows must have a maximum shading coefficient of .40. To comply; specify on plans white venetian or mini blinds on any east or west facing windows to be installed at final inspection OR specify on plans to install windows labeled by the manufacturer to have a maximum shading coefficient (SC) of .40 (such as dual pane low E windows).
18. No electric space heating or cooling allowed.
19. General lighting in kitchen and in water closet room must be florescent. Additional task lighting may be